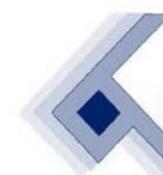




**COACH PARK HOUSING DEVELOPMENT.GIBRALTAR.**

**MARCH 2012**



**CERVERA COTTRELL architects**

ARQUITECTO

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[info@gonzalocervera.com](mailto:info@gonzalocervera.com)

## BRIEF DESCRIPTION.

The site of the proposed residential development is located in the northwest of Gibraltar on what is currently known as the Coach Park.



The site is rectangular in shape although beveled at its northeast corner. Its topography is totally flat, having a surface area of approximately 16,860 m<sup>2</sup>. The site is bordered to the south by North Mole Road, to the west by Albert Risso House and to the north and east by Waterport Road.

The proposal is for a total of six blocks varying in height between five and eight floors, according to the height restrictions that apply to the site.



These blocks will house 328 apartments and 440 parking spaces for cars, motorbikes and bicycles, and so will contribute towards fulfilling the Government's pledge to provide affordable housing in Gibraltar.

The podium level, which forms the roof of the car park, will be landscaped with trees, flowerbeds and fountains and will provide a children's playground, shaded areas, outdoor exercise equipment and other features in order to facilitate the interaction of the complex's residents.



The podium level will be accessed via the two entry points provided along North Mole Road. Each entrance will have its own staircase, lifts and porter's lodge as well as a ramp for accessibility.

The design of the complex will incorporate the latest energy efficient features, such as:

- Collection of rainwater into cistern will allow for irrigation, hosing and cleaning of common areas;
- Solar panels to provide hot water to the apartments;
- Photovoltaic panels to supply electricity to all common areas;
- Use of energy efficient lighting throughout common areas.

The high level of relative humidity, and associated condensation, will be counteracted by insulation in the casing of the building and a system of controlled mechanical ventilation which will guarantee the quality of the air inside.

The proximity to the airport and the sea requires an especially careful choice in the design and carpentry of the windows and exterior doors, which will be exposed to wind driven rain and noise from the airplanes.

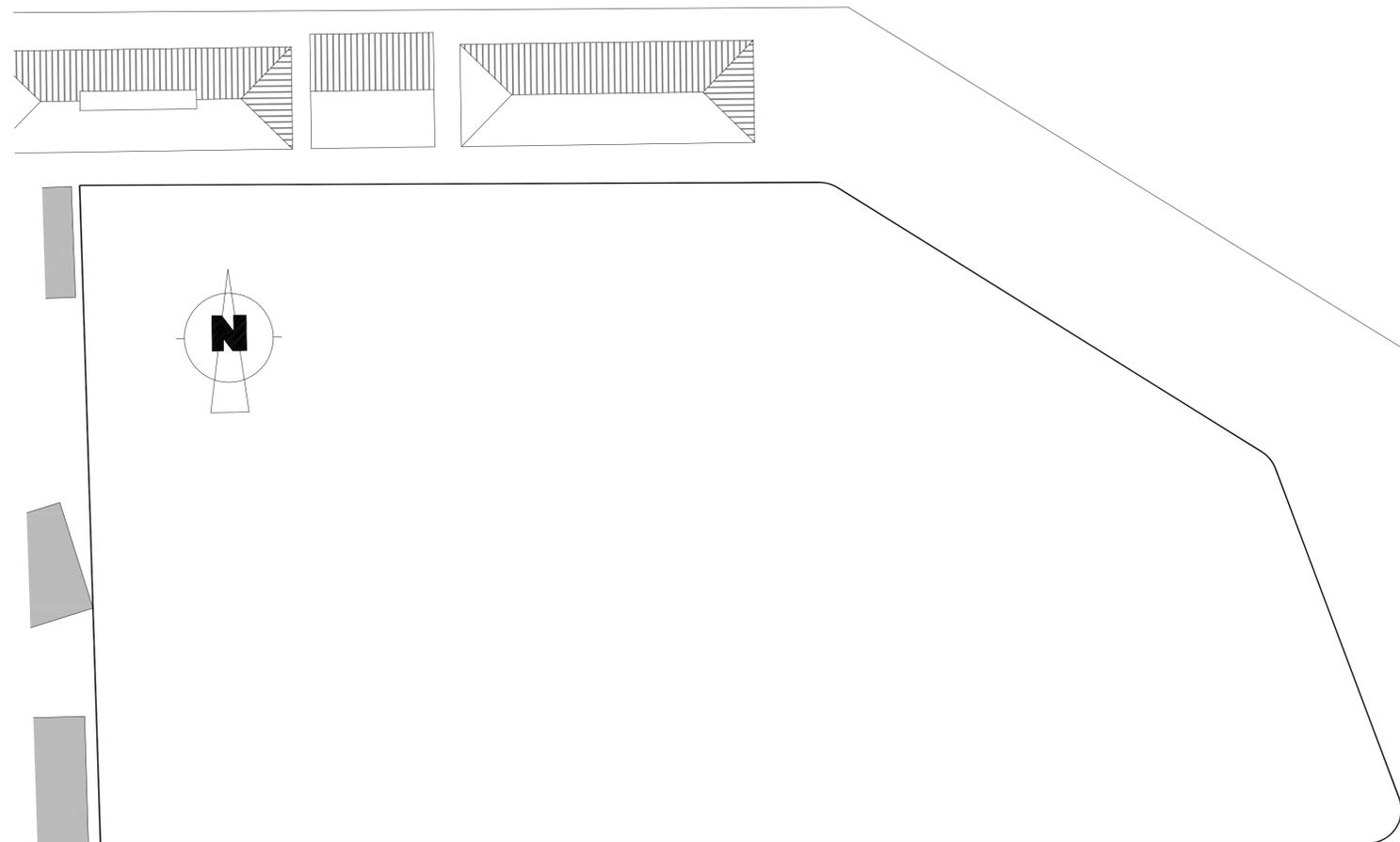
## PLANS.

1. LOCATION & SITE PLAN.
2. GENERAL PLAN/ BUILDING AREAS.
3. GENERAL PLAN. APARTMENTS.
4. GENERAL PLAN. PARKINGS
5. SECTION BLOCKS 1-2
6. SECTION BLOCKS 3-4
7. SECTION BLOCK 5
8. SECTION BLOCK 6
9. GENERAL ELEVATION SOUTH VIEW
10. GENERAL ELEVATION.WEST VIEW
11. BLOCK PODIUM FLOOR LAYOUT
12. BLOCK TYPICAL FLOOR LAYOUT
13. BLOCK ATIC FLOOR LAYOUT
14. BLOCK ROOF PLAN
15. BLOCK ELEVATIONS.
16. PERSPECTIVE VIEW
17. PERSPECTIVE VIEW
18. PERSPECTIVE VIEW
19. PERSPECTIVE VIEW
20. PERSPECTIVE VIEWS

GIBRALTAR MARCH 2012

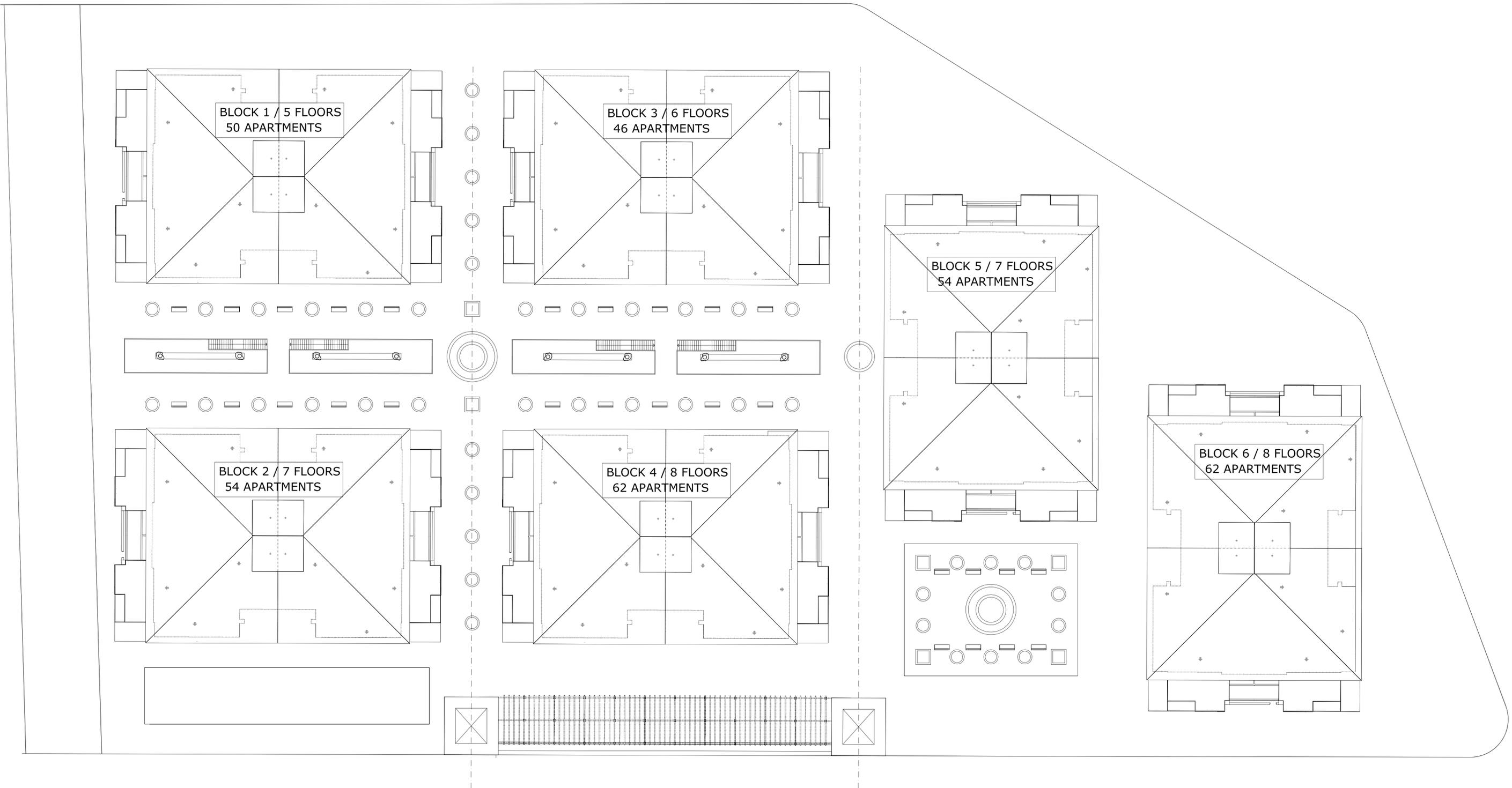


NOT TO SCALE



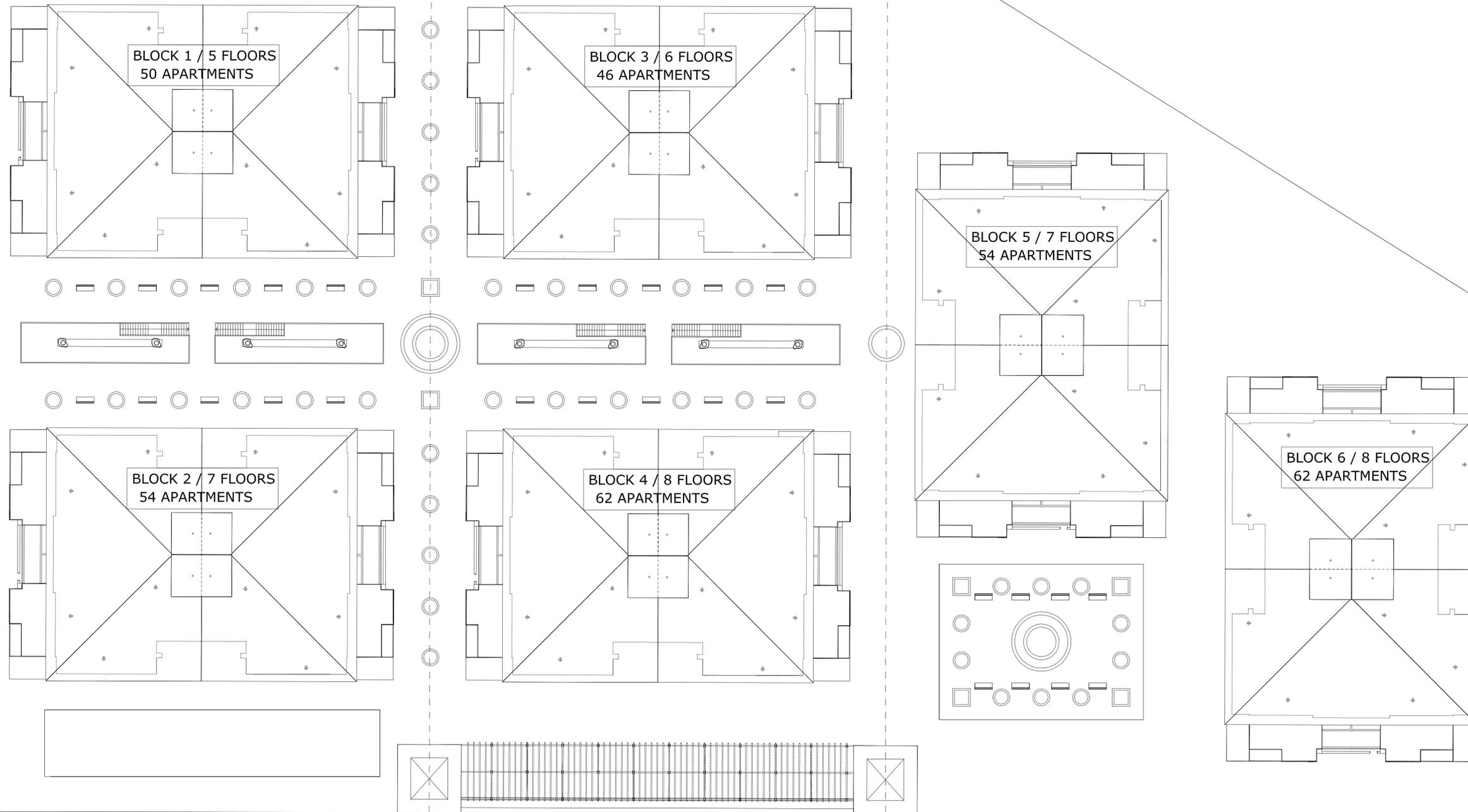
APROX. SITE AREA = 16.860 m2

CLIENT:  
PROJECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
DRAWING TITLE: LOCATION & SITE PLAN DRAWING Nº: 2440-01 DATE: MARCH-2012  
DRW: TRAZO CHK: G.CERVERA SCALE: 1:500/A1

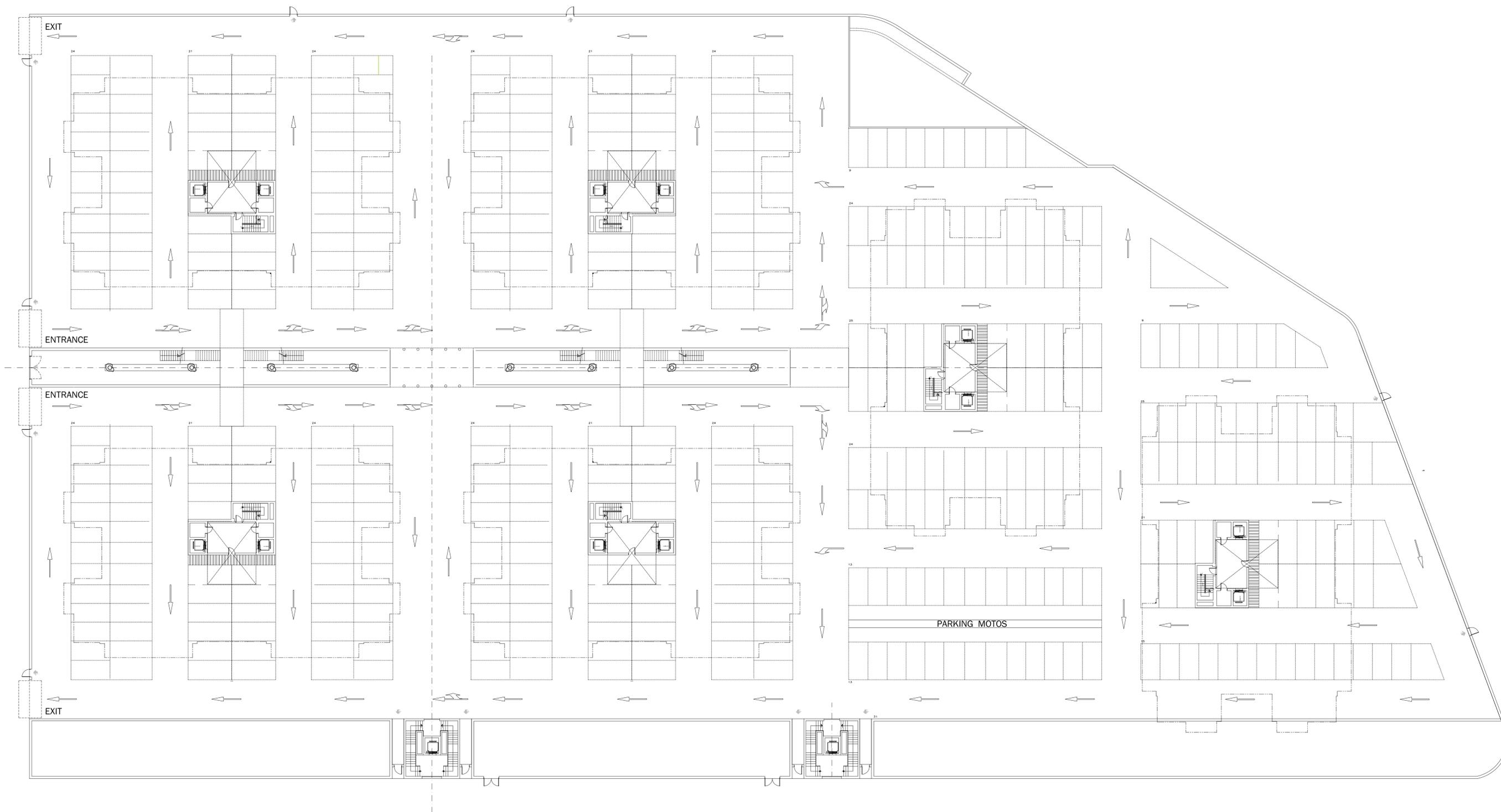


floor	BLOCK - 1				BLOCK - 2		BLOCK - 3		BLOCK - 4		BLOCK - 5		BLOCK - 6		
	M2/floor	Nº floors	AREA												
1st floor	974,00	1	974,00	1	974,00	1	974,00	1	974,00	1	974,00	1	974,00		
Typical	986,00	3	2.958,00	5	4.930,00	4	3.944,00	6	5.916,00	5	4.930,00	6	5.916,00		
Attic	806,00	1	806,00	1	806,00	1	806,00	1	806,00	1	806,00	1	806,00		
<b>TOTAL</b>		<b>5</b>	<b>4.378,00</b>	<b>7</b>	<b>6.710,00</b>	<b>6</b>	<b>5.724,00</b>	<b>8</b>	<b>7.696,00</b>	<b>7</b>	<b>6.710,00</b>	<b>8</b>	<b>7.696,00</b>	<b>38.914,00 M2</b>	

**TOTAL APARTMENTS BUILDING AREA : 38.914,00 M2**



BLOCK	FLOORS	APARTMENTS			TOTAL
		1B	2B	3B	
1	5	50	0	0	50
2	7	4	4	46	54
3	6	4	4	38	46
4	8	4	4	54	62
5	7	4	4	46	54
6	8	4	4	54	62
TOTAL		70	20	238	328



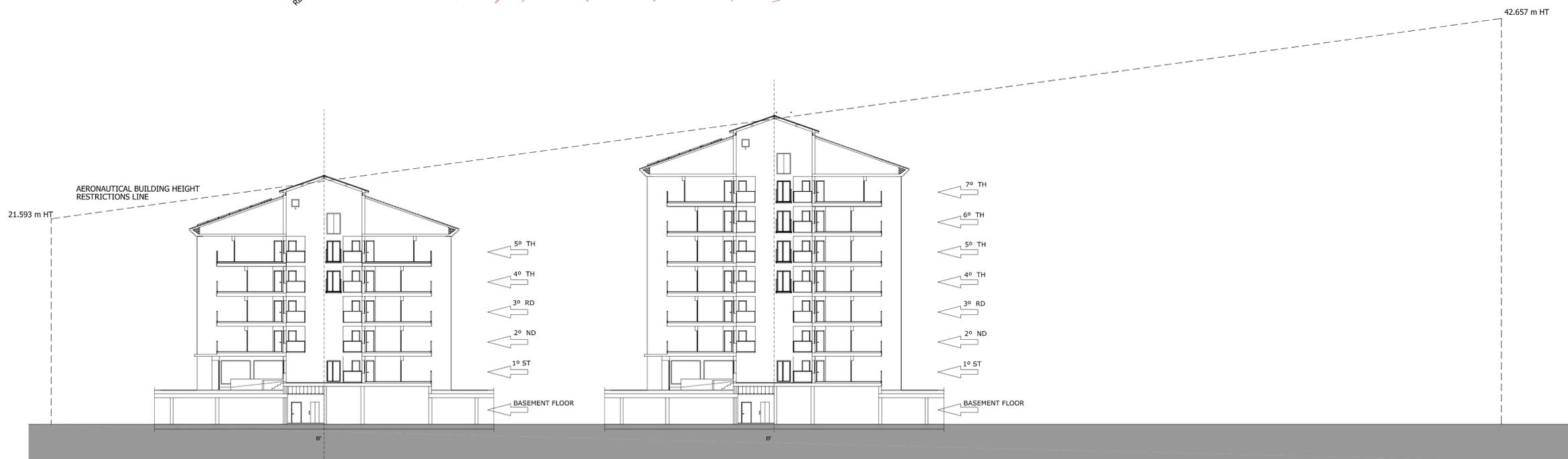
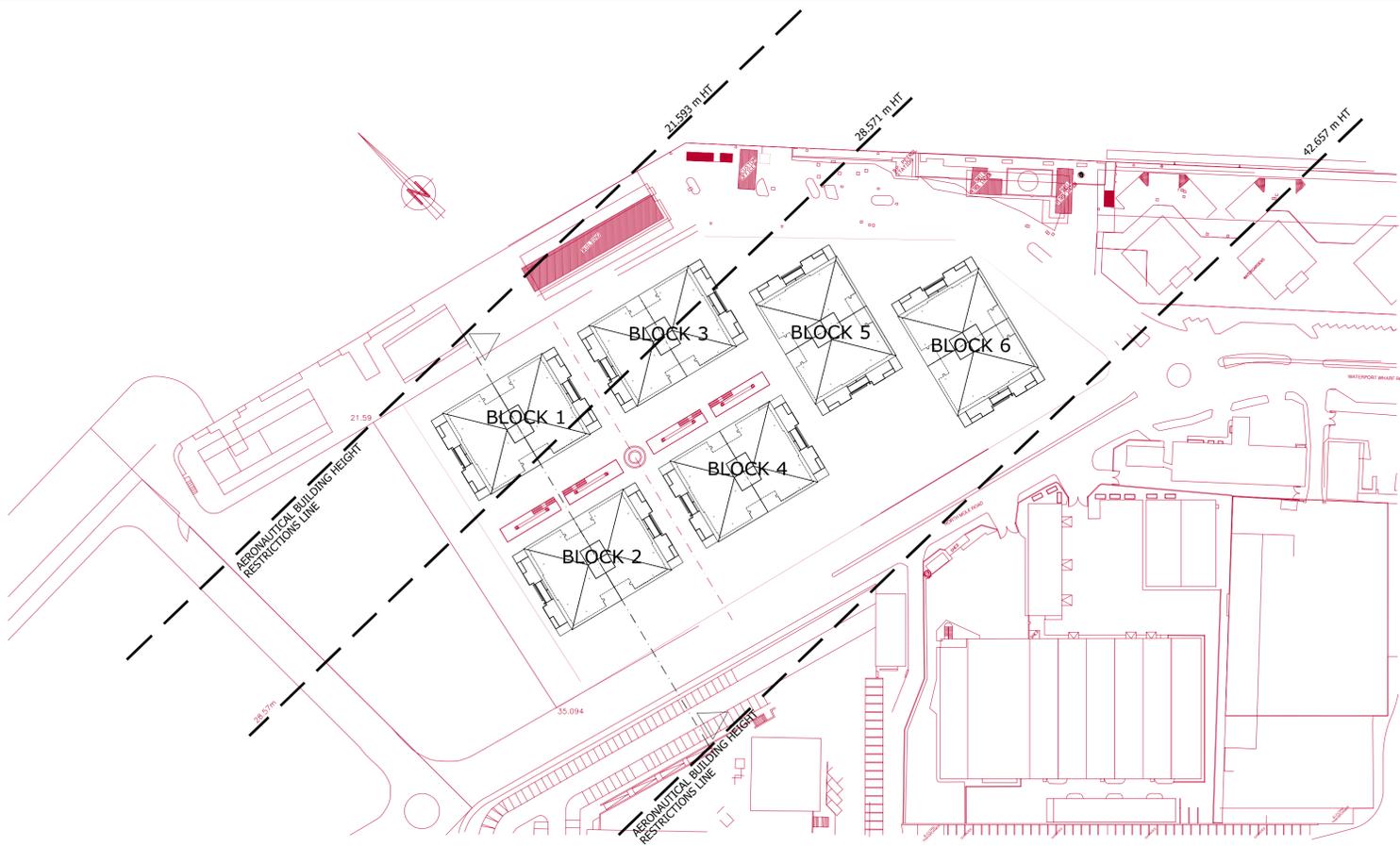
AREAS.....15.870 m2  
 447 TOTAL PARKINGS SPACES

CLIENT:  
 PROYECT: PRELIMINARIES  
 COACH PARK HOUSING DEVELOPMENT.GIBRALTAR

DRAWING TITLE: GENERAL PLAN PARKINGS  
 DRAWING N°: 2440-04  
 DATE: MARCH-2012  
 DRW: TRAZO  
 CHK: G.C.  
 SCALE: 1:250/A1

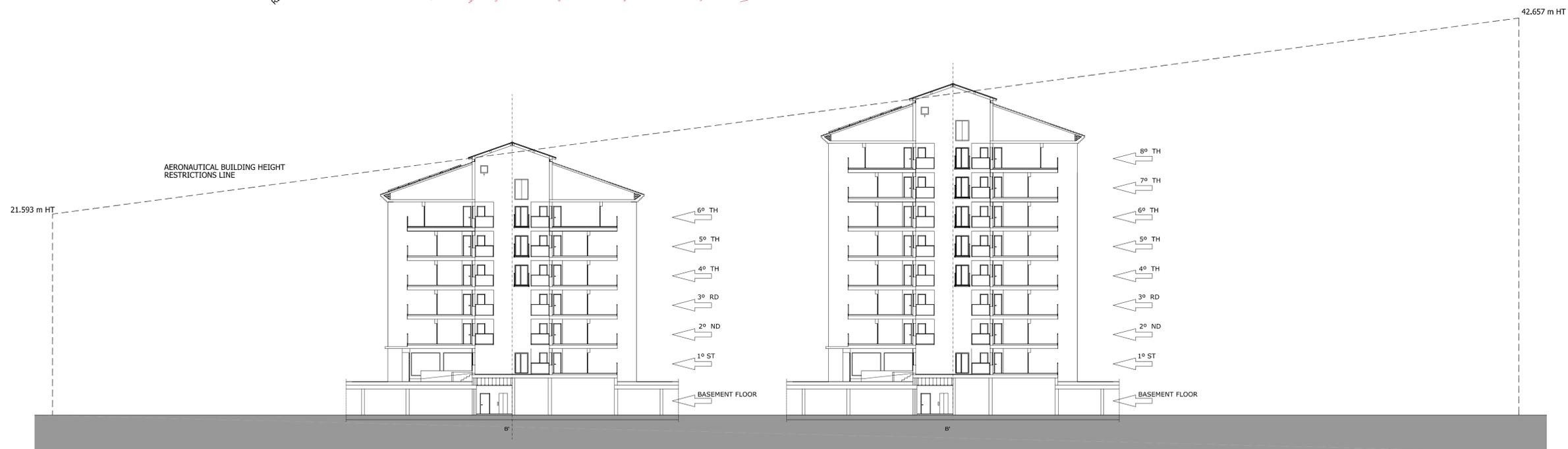
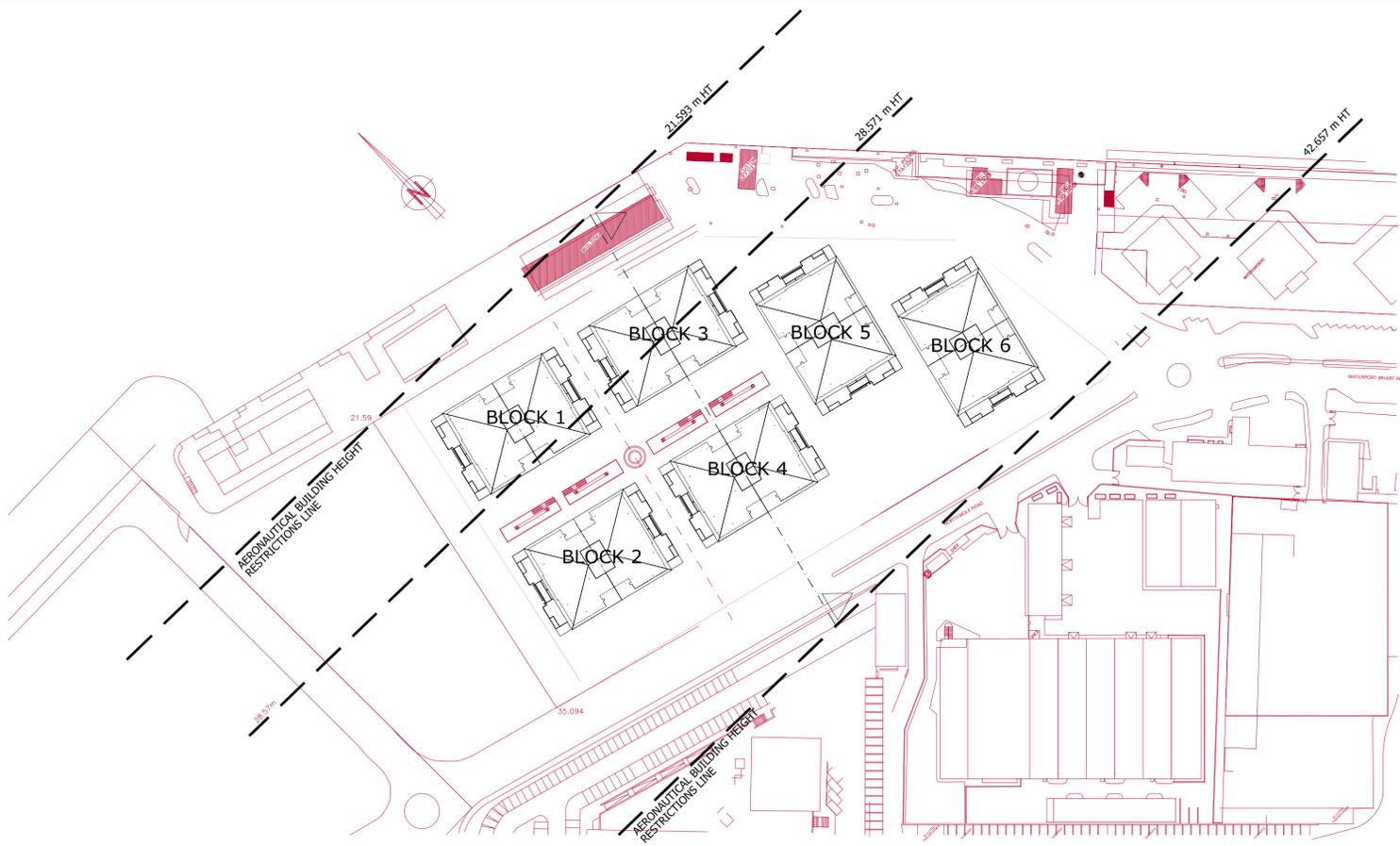
ARCHITECTS:





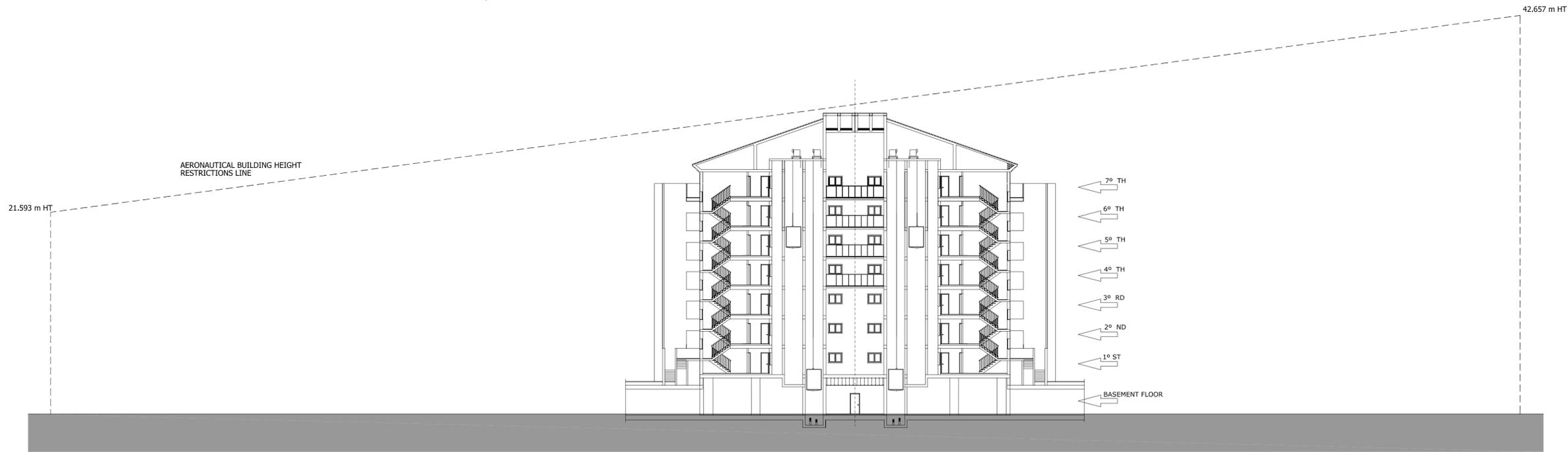
**BLOCKS 1 - 2**

CLIENT:  
 PROYECT: PRELIMINARIES  
 COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
 DRAWING TITLE: SECTION BLOCKS 1-2  
 DRAWING Nº: 2440-05  
 DATE: MARCH-2012  
 DRW: TRAZO  
 CHK: G.C.  
 SCALE: 1:250/A1



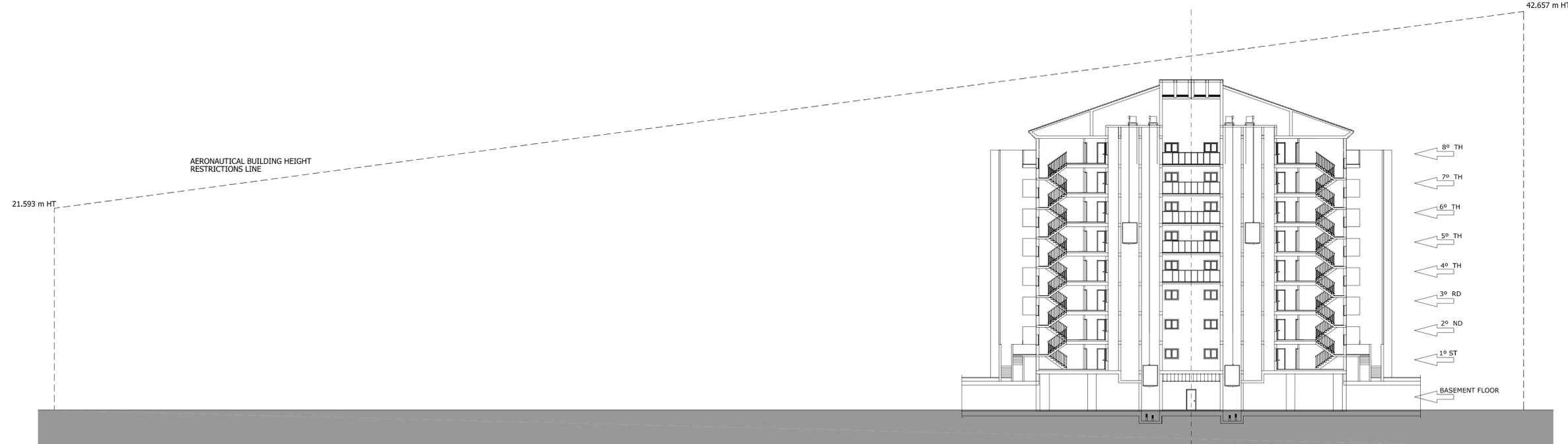
BLOCKS 3 - 4

CLIENT:  
 PROYECT: PRELIMINARIES  
 COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
 DRAWING TITLE: SECTION BLOCKS 3-4  
 DRAWING N°: 2440-06  
 DATE: MARCH-2012  
 DRW: TRAZO  
 CHK: G.C.  
 SCALE: 1:250/A1



**BLOCK 5**

CLIENT:  
 PROYECT: PRELIMINARIES  
 COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
 DRAWING TITLE: SECTION BLOCK 5  
 DRAWING Nº: 2440-07  
 DATE: MARCH-2012  
 DRW: TRAZO  
 CHK: G.C.  
 SCALE: 1:250/A1



**BLOCK 6**

CLIENT:  
 PROYECT: PRELIMINARIES  
 COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
 DRAWING TITLE: SECTION BLOCK 6  
 DRAWING N°: 2440-08  
 DATE: MARCH-2012  
 DRW: TRAZO  
 CHK: G.C.  
 SCALE: 1:250/A1

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PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR

DRAWING TITLE: GENERAL ELEVATION WEST VIEW DRAWING N°: 2440-09 DATE: MARCH-2012  
DRW: TRAZO CHK: G.C. SCALE: 1:250/A1

ARCHITECTS:



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CLIENT:

PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR

DRAWING TITLE: GENERAL ELEVATION SOUTH VIEW

DRAWING N°: 2440-10

DATE: MARCH-2012

DRW: TRAZO

CHK: G.C.

SCALE: 1:250/A1

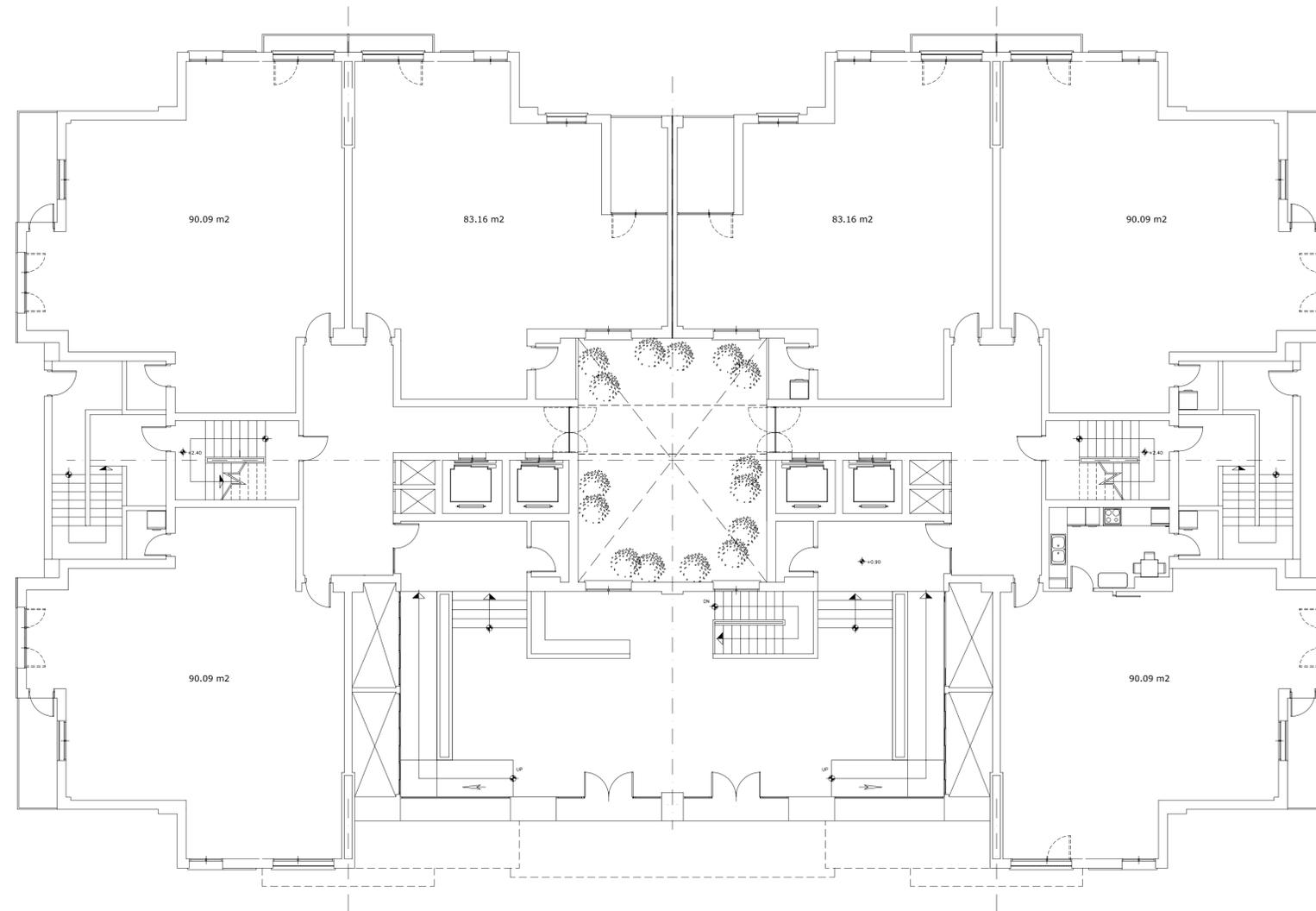
ARCHITECTS:

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ARQUITECTOS

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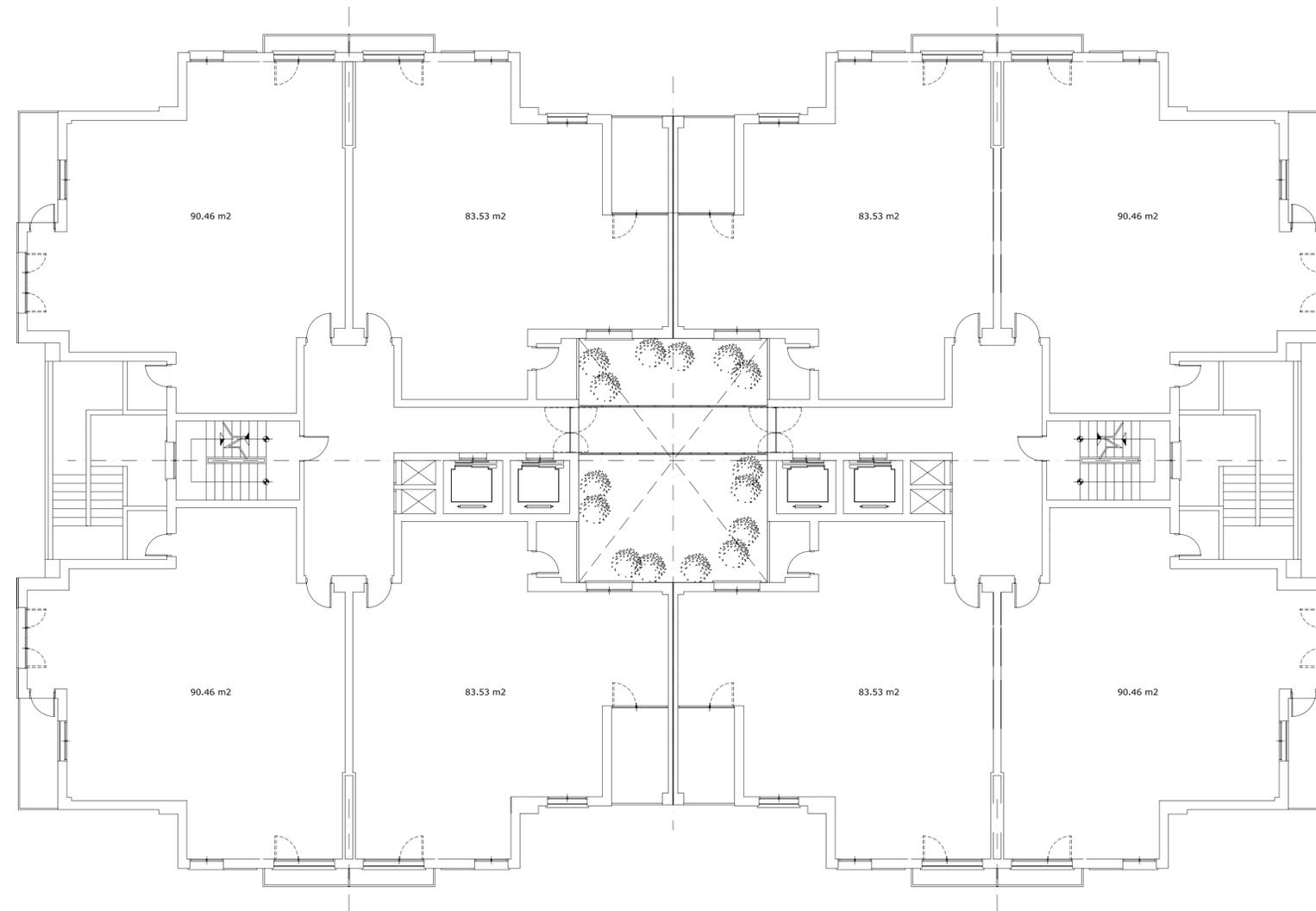
DRAWING TITLE: BLOCK PODIUM FLOOR LAYOUT DRAWING Nº: 2440-11 DATE: MARCH-2012  
DRW: TRAZO CHK: G.C. SCALE: 1:100/A1

ARCHITECTS:

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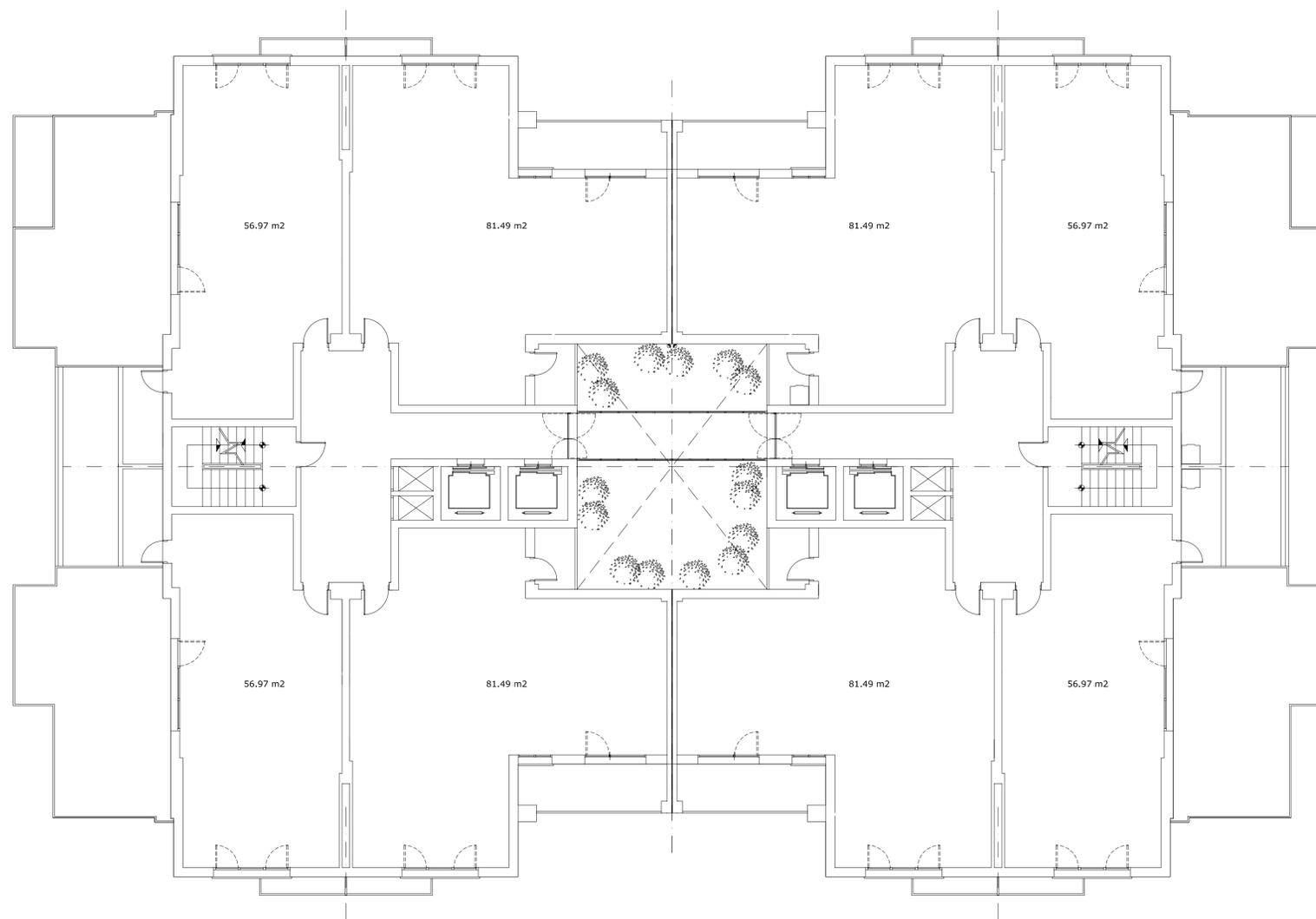
DRAWING TITLE: BLOCK TYPICAL FLOOR LAYOUT DRAWING Nº: 2440-12 DATE: MARCH-2012  
DRW: TRAZO CHK: G.C. SCALE: 1:100/A1

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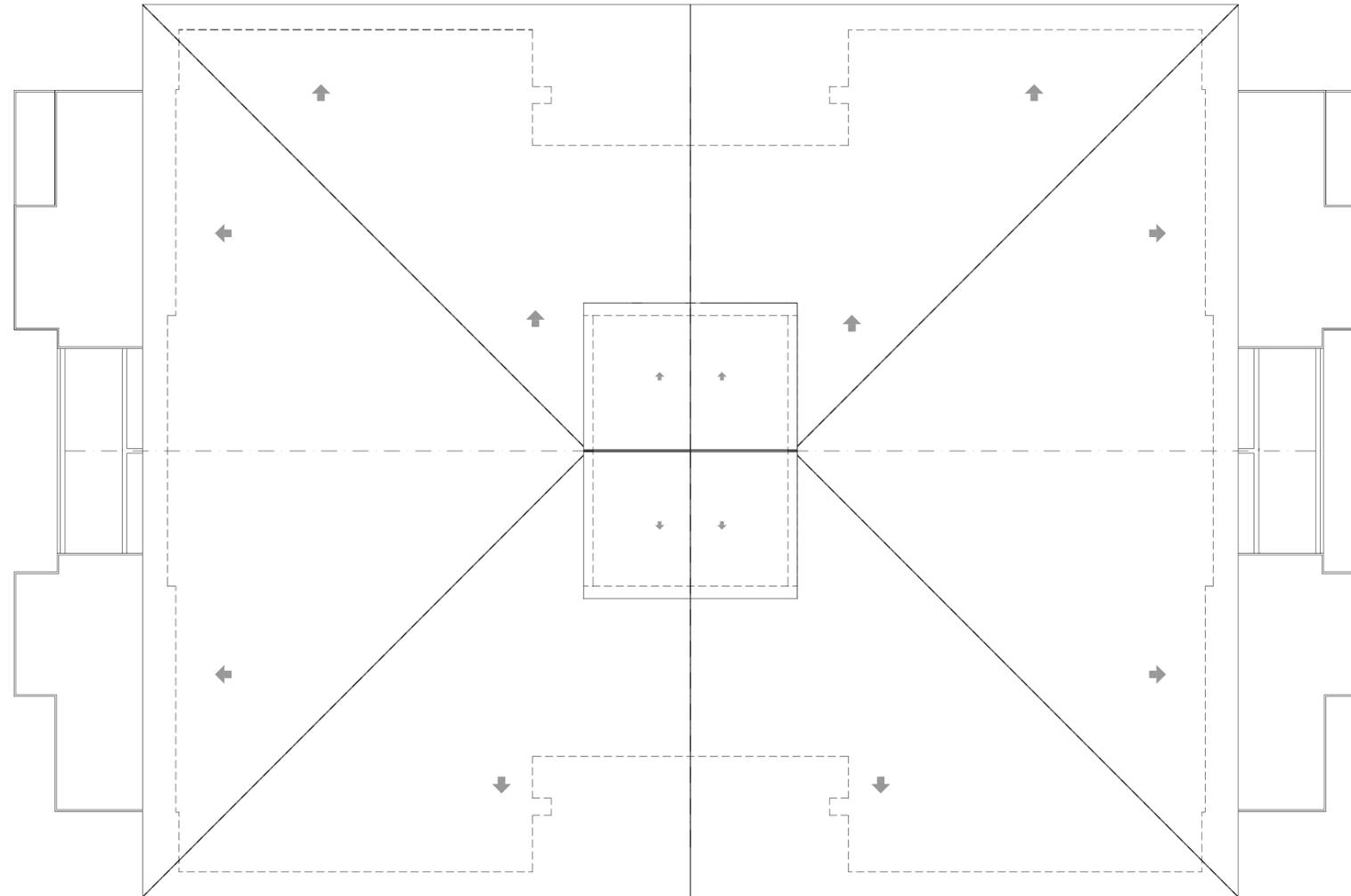


CLIENT:  
PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
DRAWING TITLE: BLOCK ATIC FLOOR LAYOUT  
DRAWING Nº: 2440-13  
DATE: MARCH-2012  
DRW: TRAZO  
CHK: G.C.  
SCALE: 1:100/A1

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DRAWING TITLE: BLOCK ROOF PLAN

DRAWING Nº: 2440-14

DATE: MARCH-2012

DRW: TRAZO

CHK: G.C.

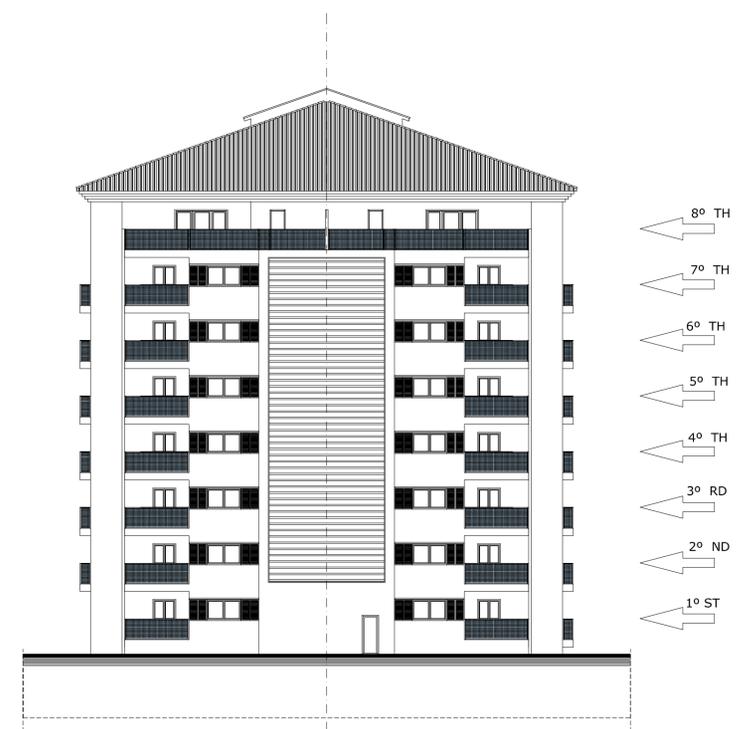
SCALE: 1:100/A1

ARCHITECTS:



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CLIENT:

PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR

DRAWING TITLE:  
BLOCK ELEVATIONS

DRAWING Nº:  
2440-15

DATE:  
MARCH-2012

DRW:  
TRAZO

CHK:  
G.C.

SCALE:  
1:200/A1

ARCHITECTS:



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PROYECT: PRELIMINARIES  
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DRAWING TITLE: PERSPECTIVE VIEW  
DRAWING Nº: 2440-16  
DATE: MARCH-2012  
DRW: TRAZO  
CHK: G.C.  
SCALE: 1:100/A1

ARCHITECTS:



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COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
DRAWING TITLE: PERSPECTIVE VIEW  
DRAWING Nº: 2440-17  
DATE: MARCH-2012  
DRW: TRAZO  
CHK: G.C.  
SCALE: 1:100/A1

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PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
DRAWING TITLE: PERSPECTIVE VIEW  
DRAWING Nº: 2440-18  
DATE: MARCH-2012  
DRW: TRAZO  
CHK: G.C.  
SCALE: 1:100/A1

ARCHITECTS:



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PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
DRAWING TITLE: PERSPECTIVE VIEW DRAWING Nº: 2440-19 DATE: MARCH-2012  
DRW: TRAZO CHK: G.C. SCALE: 1:100/A1

ARCHITECTS:



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CLIENT:  
PROYECT: PRELIMINARIES  
COACH PARK HOUSING DEVELOPMENT.GIBRALTAR  
DRAWING TITLE: PERSPECTIVES VIEW  
DRAWING N°: 2440-20  
DATE: MARCH-2012  
DRW: TRAZO  
CHK: G.C.  
SCALE: 1:100/A1

ARCHITECTS:



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